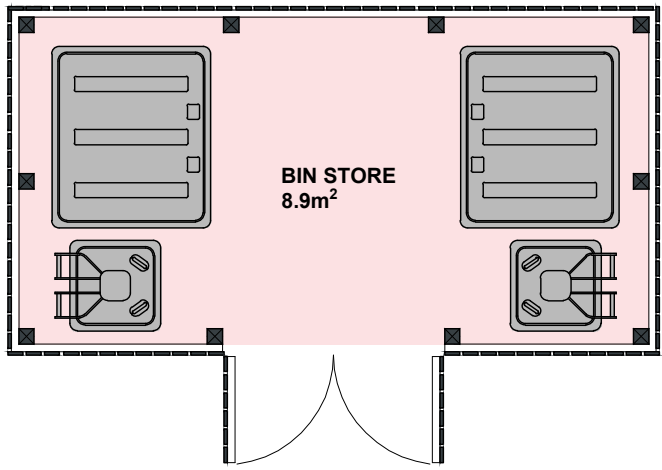
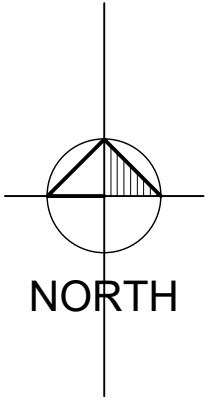
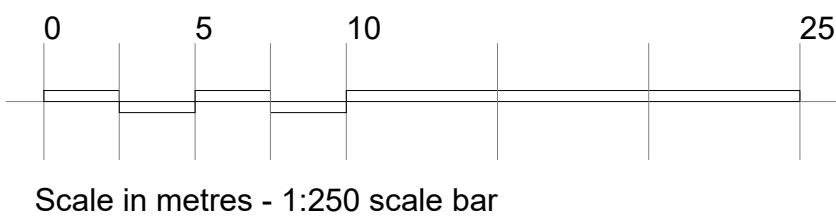


Site Plan
Scale 1:250



Bin Store:
The unit is being built on a speculative basis, so the end user and their waste storage needs are currently unknown.
Wst 03 states that 2m² of storage should be provided per 1,000m² of floor space, with the floor area rounded up to the nearest 1,000m².
The bin store provides 8.9m² of storage space for general refuse and mixed recycling.

Building Area: 2968.4m²
Rounded up: 3,000m²
2m² of storage per 1,000m² of floor area: 6m² minimum storage
Area of bin store: 8.9m², therefore the minimum requirement has been exceeded



Phase 3
2968.4m² (31.951sqft) GIA (Gross Internal Footprint of unit)
Two storey office: 370.0m² (3.982sqft)
Warehouse (Class 6): 2598.4m² (27.968sqft)
Service Yard - 2990.7m² (32.280sqft)
Car Parking - 30 spaces (inc. 2No. disabled)
Cycle Parking - 8 spaces min.

Car parking calculated on the ratios set out in the Scottish National Roads Development Guide and are as follows:

- Warehouse (class 6) - 1 space per 150sqm GIA
- Office (class 4) - 1 space per 30sqm GIA
- Disabled spaces calculated on 5% of total

Cycle parking calculated on the ratios set out in the BREEAM Technical Manual 2018 v3 and are as follows:

- Office/ Industrial - 1 space per 10 staff
- The maximum expected building occupancy is 25 staff warehouse and 46 staff office.

EV charging points calculated on the ratio set out in the South Lanarkshire Planning and Economic Development Plan Electric Vehicle Charging Points 2022:

- 30-49 no. of new parking spaces - 4 dual charge units or 8 single charge points

Enabling infrastructure for charge points should be provided to at least 50% of parking spaces as per Non-domestic Technical Handbook June 2023 (7.2.1)

- LEGEND:
- Bitmac road / car park finish
 - Bitmac footpath finish
 - Brushed concrete yard finish
 - Landscaping

B	Second floor office added, parking and front entrance adjusted	14.06.24	PP	GW
A	First issue	21.05.24	PP	GW
rev	description	date	by	checked

DO NOT SCALE. Use figured dimensions only. All dimensions, spot levels and drainage positions to be checked on site by Contractor prior to construction. Any discrepancies to be reported back to Space Solutions. Drawings to be read & fully understood before work commences. **IF IN DOUBT ASK.**

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PLANNING

client	Knight Property Group	date	May 2024
address	Langlands, Kelvin Park Sth, East Kilbride	drawn by	PP
title	Phase 3: Site Plan	checked	GW
scale	As noted @ A1		

job number	222987-A-PRO	drawing no.	A_3-200_SitePlan
		rev	A_3-200 B



Schedule of Accommodation:

Phase 3
2968.4m² (31,951sqft) GIA (Gross Internal Footprint of unit)
Two storey office: 370.m² (3,962sqft)
Warehouse (Class 6): 2598.4m² (27,968sqft)
Service Yard - 2990.7m² (32,280sqft)
Car Parking - 30 spaces (inc. 2No. disabled)
Cycle Parking - 8 spaces min.

Car parking calculated on the ratios set out in the Scottish National Roads Development Guide and are as follows;

- Warehouse (class 6) - 1 space per 150sqm GIA
- Office (class 4) - 1 space per 30sqm GIA
- Disabled spaces calculated on 5% of total

Cycle parking calculated on the ratios set out in the BREEM Technical Manual 2018 v3 and are as follows;

- Office/ Industrial - 1 space per 10 staff
- The maximum expected building occupancy is 25 staff warehouse and 46 staff office.

EV charging points calculated on the ratio set out in the South Lanarkshire Planning and Economic Development Plan Electric Vehicle Charging Points 2022:

- 30-49 no. of new parking spaces - 4 dual charge units or 8 single charge points

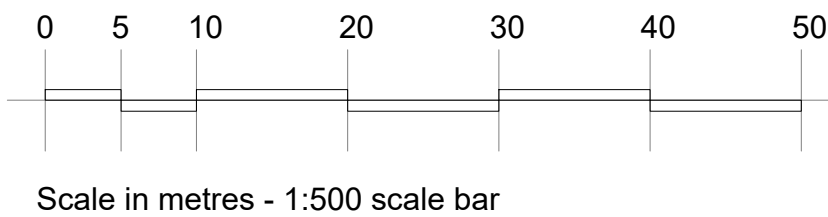
Enabling infrastructure for charge points should be provided to at least 50% of parking spaces as per Non-domesticTechnical Handbook June 2023 (7.2.1)

LEGEND:

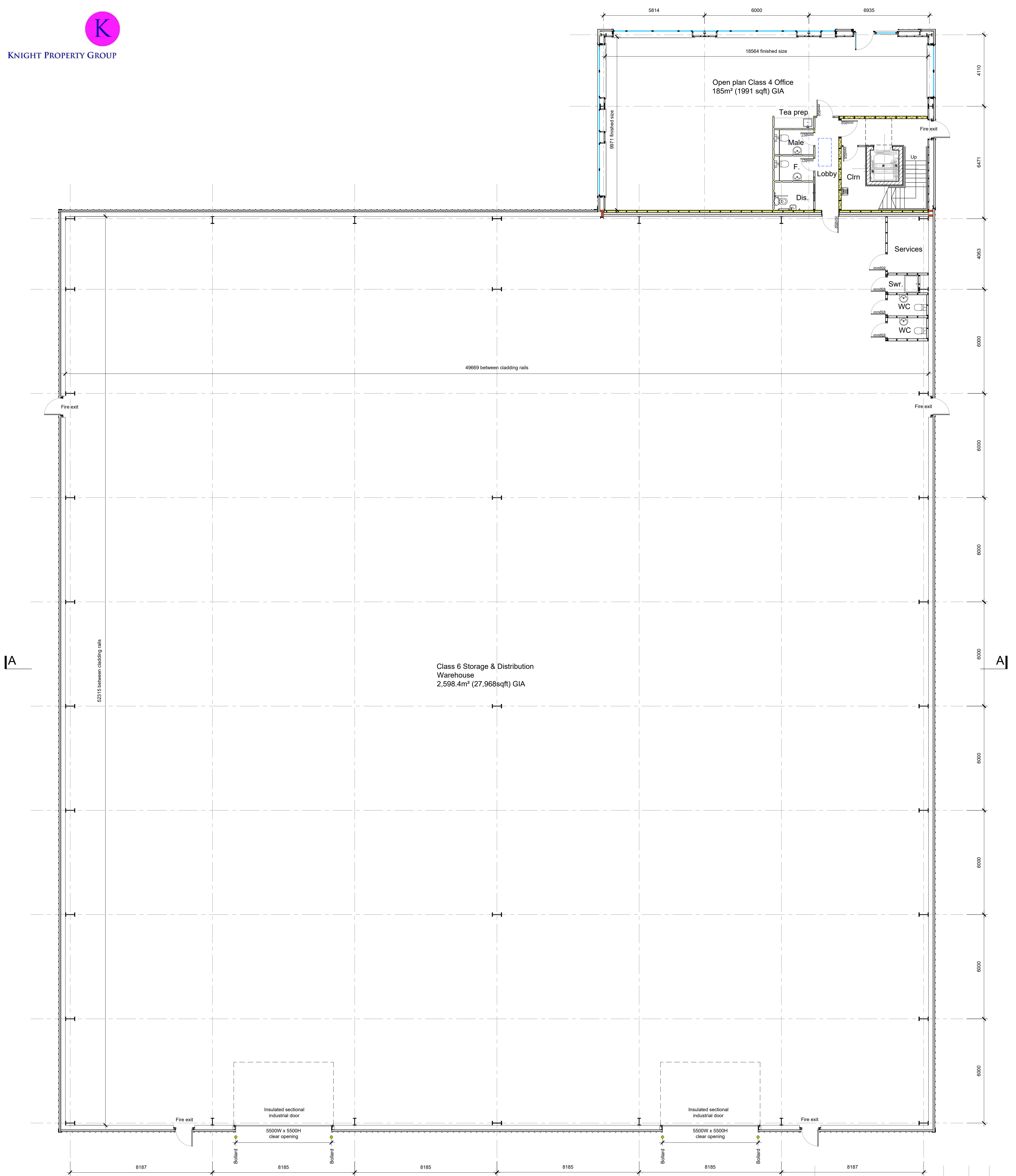
- Bitmac road / car park finish
- Bitmac footpath finish
- Brushed concrete yard finish
- Landscaping
- Porous block pavours. Colour TBC



Site Masterplan
1:500

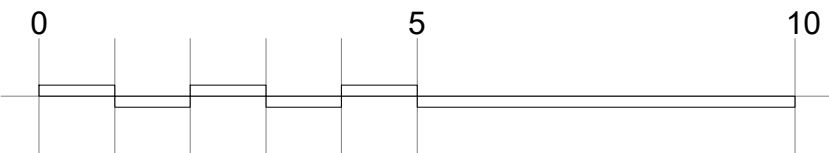


B	Issue for planning	14.06.24	PP	GW
A	First issue	21.05.24	PP	GW
rev	description	date	by	checked
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<div><div></div><div>SPACE CREATING GREAT SPACE</div></div>				
client	date			
Knight Property Group	May 2024			
address	drawn by	checked		
Langlands, Kelvin Park Sth, East Kilbride	GW	SS		
title	scale			
Phase 3: Site Masterplan	As noted @ A1			
A_3-200_SitePlan				
job number	drawing no.	rev		
222987-A-PRO	A_3-202	B		
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Ground Floor Layout Plan

Scale - 1:100



Scale in metres - 1:100 scale bar

B	Issue for planning	14.06.24	PP	GW
A	First issue	21.05.24	PP	GW
rev	description	date	by	checked

DO NOT SCALE. Use figured dimensions only. All dimensions, spot levels and drainage positions to be checked on site by Contractor prior to construction. Any discrepancies to be reported back to Space Solutions. Drawings to be read & fully understood before work commences. **IF IN DOUBT ASK.**

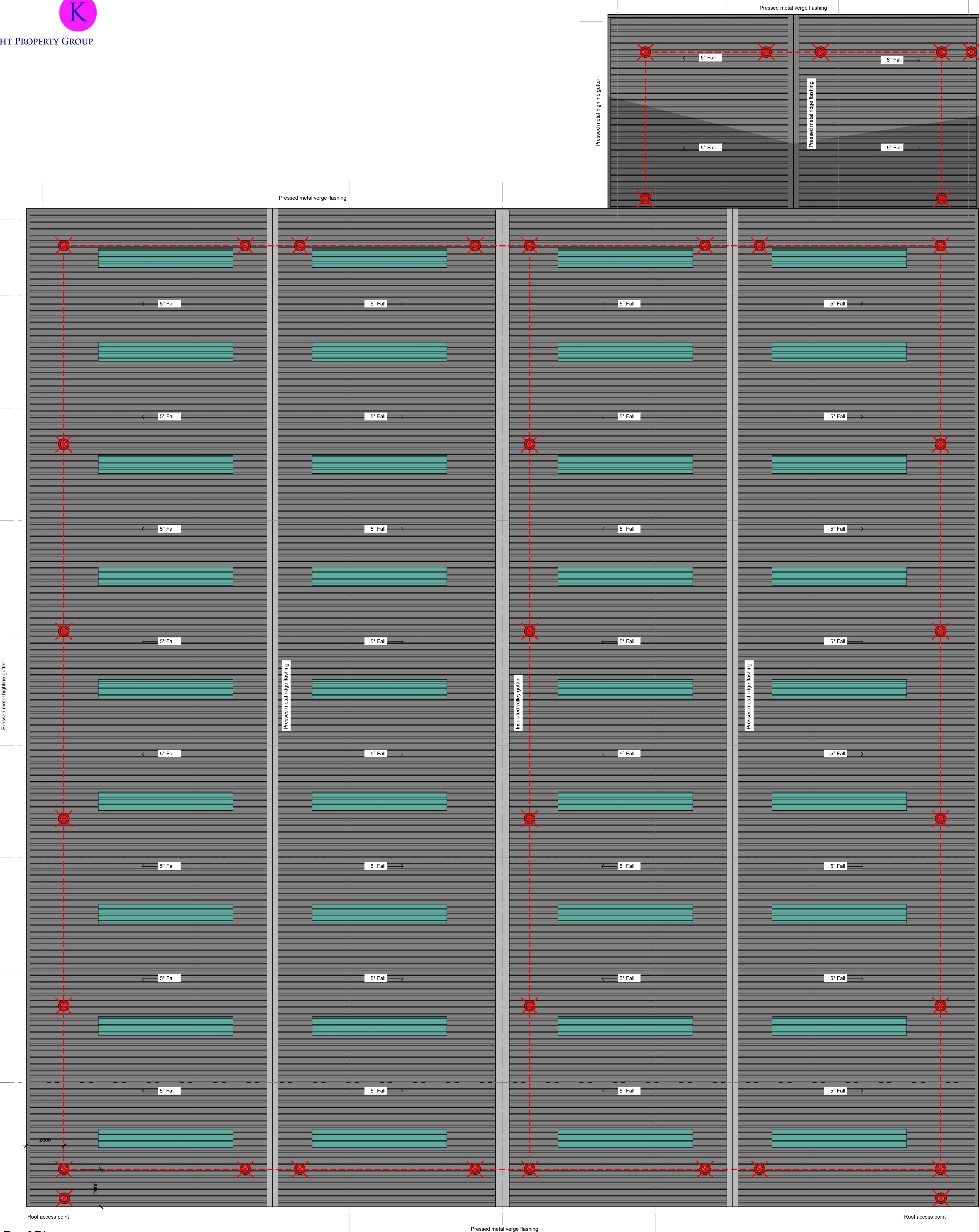
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tel: +44(0)1224 218 500
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PLANNING

client	Knight Property Group	date	May 2024
address	Langlands, Kelvin Park Sth, East Kilbride	drawn by	PP
title	Phase 3: Ground Floor Layout Plan	checked	GW
scale	1:100@A1	scale	

job number	222987-A-PRO	rev	B
rev		rev	

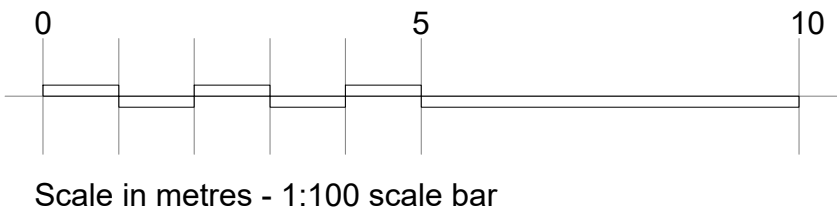
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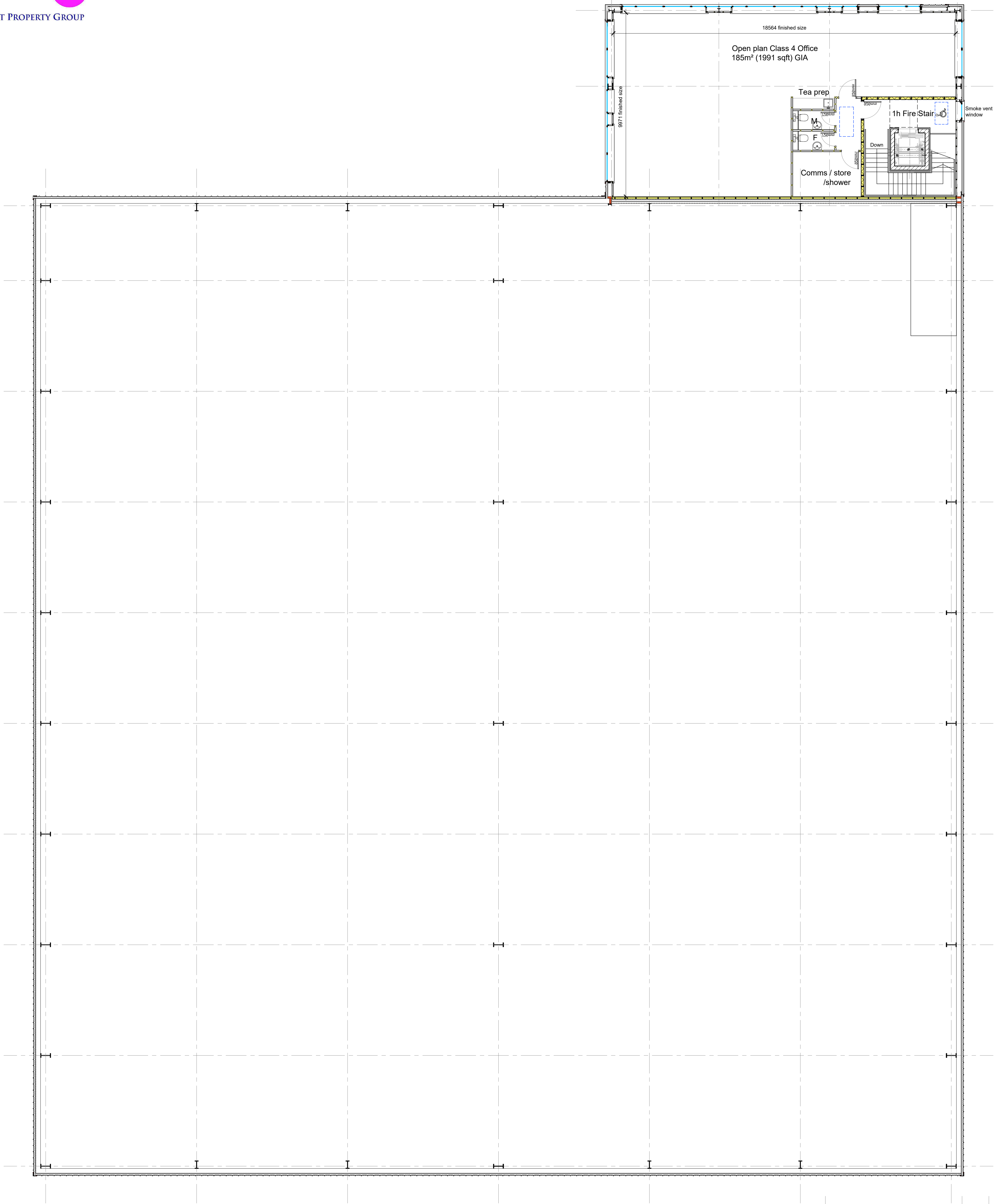
Roof Plan

Scale - 1:100

- Safesite Protecta Horizontal Lifeline, Roof-Edge Fabrications Ltd or equal approved.
- Top Fix Anti-Pendulum Posts
- Horizontal Lifeline
comprising 8mm diameter grade 316L stainless steel wire with all starter and end plates, intermediate brackets, shock absorbers and tensioners grade 316L stainless steel. Stainless steel top-fix posts fixed at maximum of 12m centres.
- Maintenance access to roof should be gained from a mobile scaffold tower erected on handstanding adjacent to the locations marked 'roof access point'. Using full body harness with pair of lanyard lines, persons accessing roof must hook onto the pendulum post prior to detaching from the lower, or opening any safety barriers, and similarly, persons must hook onto fall arrest line prior to detaching from the pendulum post. Procedure should be completed in reverse when exiting the roof.
- Maintenance access to photovoltaic panels (if any) as above but with a single lanyard line and inertia reel. The panels should be accessed using the inertia reel from the fall arrest line which runs adjacent. Lanyard to be used when stepping between platform & roof and vice versa.
- Warning**
Fragile roof
Don Load Bearing Rooftops
- Roof cladding panels:
Kingspan KS1000RW trapezoidal composite panels with 100mm hcfc free lpc grade 'b' core quadcore insulation, ext. skin- 0.5mm thk steel - XL Forte Range Pure Grey RAL000 55 00. int. skin- 0.4mm thk bright white polyester lining enamel
All fixed in accordance with manufacturers instructions
- Rooflights (to cover min 10% of floor area):
Brett Martin Trilite 30 energy saver or equal and approved factory assembled triple skin rooflights. 'u' value 1.9w/m²k.
profiled to suit ks1000rw with a 3.0kg/m²superlife weather sheet sab3/ssa1.
rooflight panels to be fixed to steel purline (purlins set out to suit rooflight length
- All fixed in accordance with manufacturers instructions with poppy red ral 2002 fixings

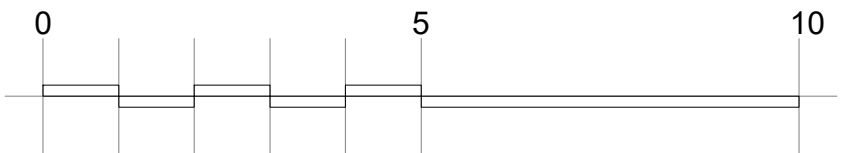


B A		Lifeline added to office roof First issue	14.06.24 21.05.24	PP PP	GW GW
rev	description		date	by	checked
DO NOT SCALE. Use figured dimensions only. All dimensions, spot levels and drainage positions to be checked on site by Contractor prior to construction. Any discrepancies to be reported back to Space Solutions. Drawings to be read & fully understood before work commences. IF IN DOUBT ASK.					
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PLANNING			 SPACE CREATING GREAT SPACE		
client Knight Property Group			date May 2024		
address Langlands, Kelvin Park Sth, East Kilbride			drawn by PP	checked GW	
title Phase 3: Roof Plan			scale 1:100@A1		
job number 222987-A-PRO			<div><div>drawn by A_3-211</div><div>rev B</div></div> <div>A_3-210_GA's</div>		
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First Floor Layout Plan

Scale - 1:100



Scale in metres - 1:100 scale bar

A	First issue	14.06.24	PP	GW
rev	description	date	by	checked

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PLANNING

client	date
Knight Property Group	June 2024
address	drawn by
Langlands, Kelvin Park Sth, East Kilbride	PP
title	checked
Phase 3: First Floor Layout Plan	GW
scale	
1:100@A1	



job number	drawing no.
222987-A-PRO	A_3-212
	rev
	B

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East Elevation

Scale - 1:100

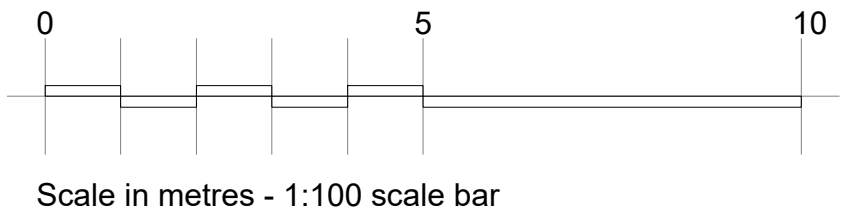


North Elevation

Scale - 1:100

- EXTERNAL FINISHES:**
- Wall cladding - Kingspan Trapezoidal Profile, colour Spectrum Range Silver Metallic RAL9006
 - Wall cladding - Kingspan Trapezoidal Profile, colour Spectrum Range Metallic Obsidian RAL9007
 - Roof cladding - Kingspan Trapezoidal Profile, colour XL Forte Range Pure Grey RAL000 55 00
 - Roof eaves, verge & ridge flashings - Pure Grey RAL000 55 00
 - Doors, sectional warehouse doors, windows & associated flashings - Obsidian RAL9007
 - Drip flashings, vertical flashings / top hats & RWP's - Silver Metallic RAL9006
 - Basecourse - buff coloured facing brick with grey bucket handle pointing
 - Brett Martin or equal and approved GRP rooflights to cover min 10% of roof area
 - Glazing - grey tint

B	Second floor office added	14.06.24	PP	GW
A	First issue	21.05.24	PP	GW
rev	description	date	by	checked
DO NOT SCALE. Use figured dimensions only. All dimensions, spot levels and drainage positions to be checked on site by Contractor prior to construction. Any discrepancies to be reported back to Space Solutions. Drawings to be read & fully understood before work commences. IF IN DOUBT ASK.				
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PLANNING		 SPACE CREATING GREAT SPACE		
client	Knight Property Group		date	May 2024
address	Langlands, Kelvin Park Sth, East Kilbride		drawn by	checked
			PP	GW
title	Phase 3: North and East Elevation		scale	
			1:100@A1	
job number		A_3-210_GA's		
222987-A-PRO		drawing no	A_3-220	rev
			B	
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West Elevation

Scale - 1:100



South Elevation

Scale - 1:100

EXTERNAL FINISHES:

- Wall cladding - Kingspan Trapezoidal Profile, colour Spectrum Range Silver Metallic RAL9006
- Wall cladding - Kingspan Trapezoidal Profile, colour Spectrum Range Metallic Obsidian RAL9007
- Roof cladding - Kingspan Trapezoidal Profile, colour XL Forte Range Pure Grey RAL000 55 00
- Roof eaves, verge & ridge flashings - Pure Grey RAL000 55 00
- Doors, sectional warehouse doors, windows & associated flashings - Obsidian RAL9007
- Drip flashings, vertical flashings / top hats & RWPs - Silver Metallic RAL9006
- Basecourse - buff coloured facing brick with grey bucket handle pointing
- Brett Martin or equal and approved GRP rooflights to cover min 10% of roof area
- Glazing - grey tint

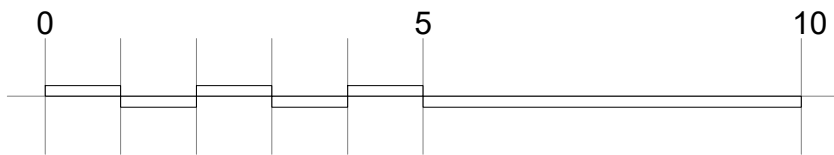
B	Second floor office added	14.06.24	PP	GW
A	First issue	21.05.24	PP	GW
rev	description	date	by	checked

DO NOT SCALE. Use figured dimensions only. All dimensions, spot levels and drainage positions to be checked on site by Contractor prior to construction. Any discrepancies to be reported back to Space Solutions. Drawings to be read & fully understood before work commences. **IF IN DOUBT ASK.**

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PLANNING

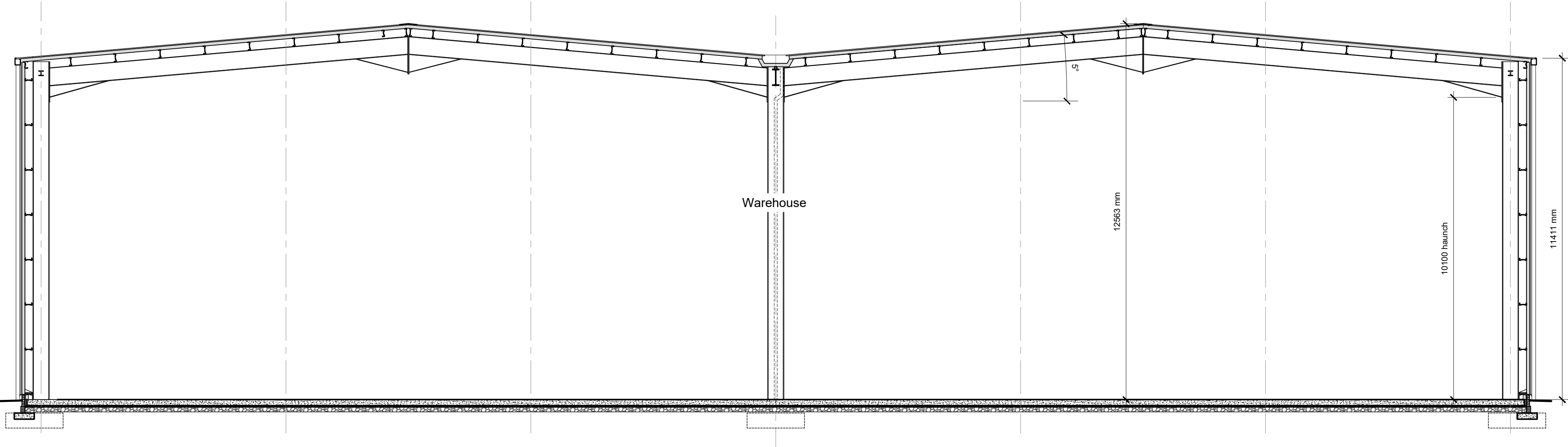
client	Knight Property Group			May 2024
address	Langlands, Kelvin Park Sth, East Kilbride			drawn by PP checked by GW
title	Phase 3: South and West Elevation			scale 1:100@A1



Scale in metres - 1:100 scale bar

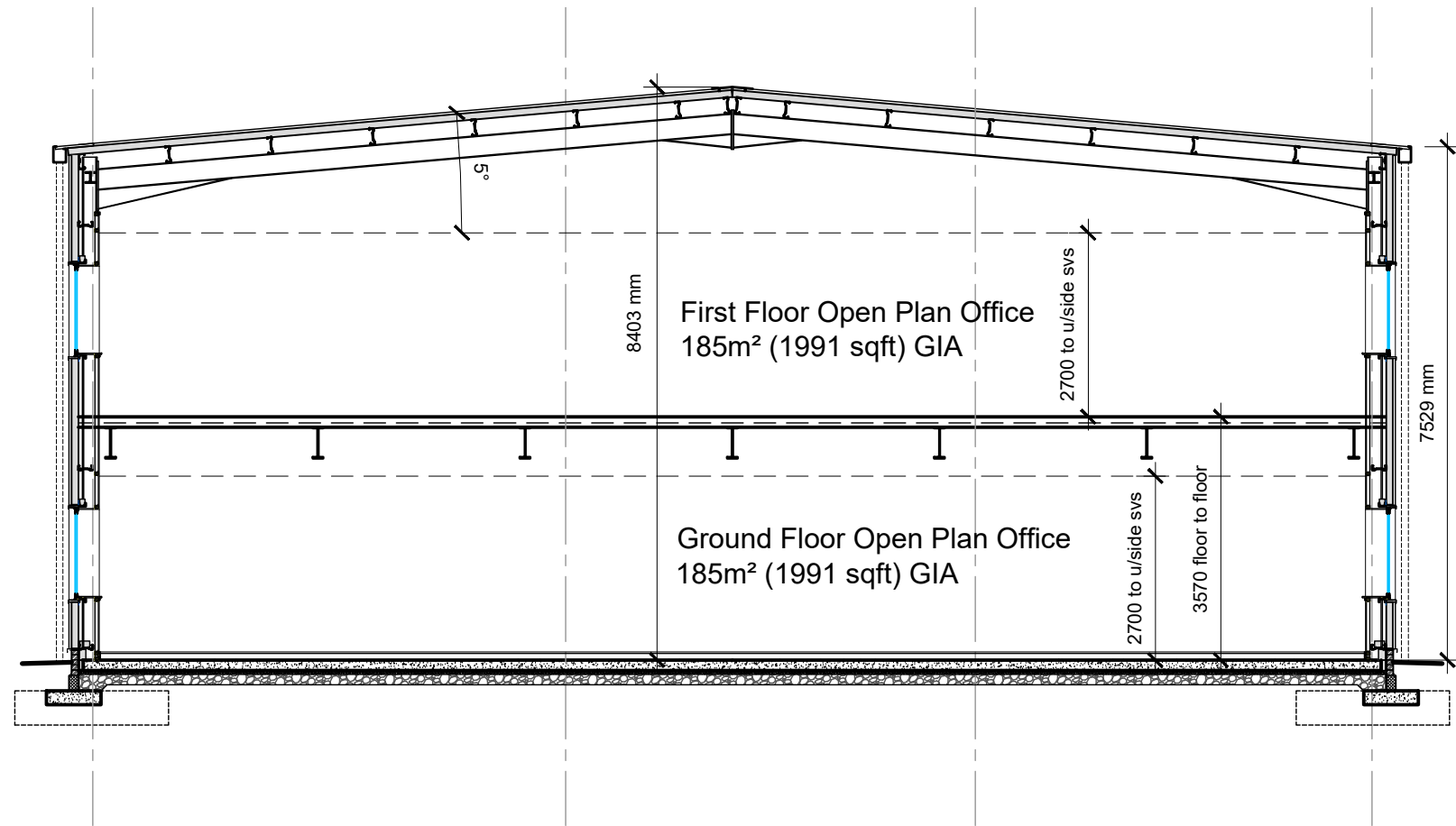
job number	222987-A-PRO			rev	A_3-210_G4's
				A_3-221	B

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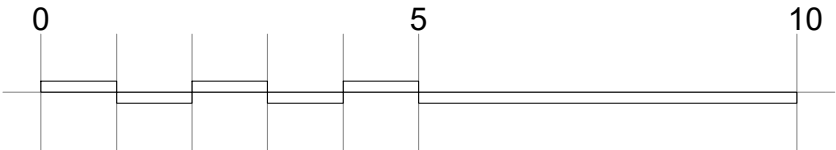
Warehouse Section

Scale - 1:100



Office Section

Scale - 1:100



Scale in metres - 1:100 scale bar

B	Second floor office added	14.06.24	PP	GW
A	First issue	21.05.24	PP	GW
rev	description	date	by	checked

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PLANNING			SPACE CREATING GREAT SPACE	
client	Knight Property Group		date	May 2024
address	Langlands, Kelvin Park Sth, East Kilbride		drawn by	PP
			checked	GW
title	Phase 3: Sections		scale	1:100@A2

job number	A_3-210_GA's		
222987-A-PRO	drawing no	A_3-230	rev B
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